

June 13, 2012

TO: Members of the MAG Building Codes Committee

FROM: Michael Williams, Tempe, Chair

SUBJECT: MEETING NOTIFICATION AND TRANSMITTAL OF TENTATIVE AGENDA

Wednesday, **June 20, 2012** - 2:00 pm
MAG Office, Second Floor, Ironwood Room
302 North 1st Avenue, Phoenix

A meeting of the MAG Building Codes Committee (BCC) has been scheduled for the time and place noted above. Members of the MAG Building Codes Committee may attend in person, by videoconference or by telephone conference call. Those attending by telephone conference call must make arrangements with Steve Gross at MAG at (602) 254-6300 at least one day prior to the meeting.

If you drive to the meeting, please park in the garage under the building and bring your ticket to the meeting; parking will be validated. For those using transit, the Regional Public Transportation Authority will provide transit tickets for your trip. For those using bicycles, please lock your bicycle in the bike rack in the garage.

Pursuant to Title II of the Americans with Disabilities Act (ADA), MAG does not discriminate on the basis of disability in admissions to or participation in its public meetings. Persons with a disability may request a reasonable accommodation, such as a sign language interpreter, by contacting Scott Wilken at the MAG office. Requests should be made as early as possible to allow time to arrange for accommodation.

Please be advised that under procedures approved by the MAG Regional Council on June 26, 1996, all MAG committees must have a quorum to conduct business. A quorum is a simple majority of the membership, or 12 people for the MAG Building Codes Committee. If you are unable to attend the meeting, please send a proxy from your jurisdiction or agency to represent you.

If you have any questions or require additional information, please contact Scott Wilken at (602) 254-6300 or swilken@azmag.gov.

TENTATIVE AGENDA
MAG Building Codes Committee Meeting
June 20, 2012

- | | |
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| 1. <u>Call to Order</u> | 2. For information. |
| 2. <u>Introductions</u> | 3. Review and approve the minutes of the May 16, 2012 meeting. |
| 3. <u>May 16, 2012 Meeting Minutes</u> | 4. For information and discussion. |
| 4. <u>Call to the Audience</u>

Members of the public may request to speak on items that fall under the jurisdiction of the MAG Building Codes Committee (BCC) and are not scheduled on the agenda; or, on items on the agenda for discussion but not for action. A total of 15 minutes will be provided for the Call to the Audience, with a limit of three minutes per speaker, unless the Chair requests an exception to this limit. Those requesting to comment on action agenda items may be provided an opportunity to do so at the time the agenda item is heard. | 5. For information and discussion. |
| 5. <u>Comments From the Committee</u>

An opportunity will be provided for Building Codes Committee members to present a brief summary of current events. The Building Codes Committee is not allowed to propose, discuss, deliberate or take action at the meeting on any matter in the summary, unless the specific matter is properly noticed in accordance with the Arizona Open Meeting Law. | 6. For information and discussion. |
| 6. <u>New 4" Interlocking Block Wall with Pilasters Details</u>

Brian Juedes from Felten Group will give a brief overview of the newest 4" masonry fence standard details, highlighting changes and design methodology used to develop the details. Please see Attachment One . | |

7. MAG Building Code Amendments and Standards Book

Discussion about committee members' review of code amendments and building construction standards not included in national codes. This discussion will involve which documents should be included in a new MAG publication, which should be updated, which should be included for historical purposes, and which should be excluded, as well as the format of the publication and other related issues. Please see **Attachment Two** for the list of documents.

For copies of the Original and Updated Documents, please visit the MAG webpage at:
<http://www.azmag.gov/Events/Event.asp?CMSID=4094>

8. Updated MAG Building Codes Committee Membership

We are requesting that Committee members review **Attachment Three**, Committee Roster, sent with this agenda. Please forward any changes to Scott Wilken prior to the meeting or provide them at the meeting.

9. Update Survey of Code Adoption

Attachment Four identifies the codes that member agencies have adopted. Please review this information and provide any updates or corrections to Scott Wilken.

10. Topics for Future Agendas

Potential topics for the next meeting will be discussed. Please think of any items of discussion or presentations that you would be interested in hearing about at future meetings.

Please note that the **July meeting** of the MAG Building Codes Committee will be **cancelled**. The next meeting is scheduled for Wednesday August 15, 2012 at 2:00 p.m. in the MAG Ironwood Room.

11. Adjournment

7. For information, discussion and possible action.

8. For information and discussion.

9. For information and discussion.

10. For information and discussion.

MINUTES OF THE
MARICOPA ASSOCIATION OF GOVERNMENTS
BUILDING CODES COMMITTEE

May 16, 2012

Maricopa Association of Governments Office
302 N. 1st Ave
Chaparral Room
Phoenix, AZ

COMMITTEE MEMBERS

Michael Williams, Tempe, Chair

Randal Westacott, Avondale

*Phil Marcotte, Buckeye

*Mike Tibbett, Carefree

Mike Baxley, Cave Creek

*Martin Perez, Chandler

Mary Dickson, El Mirage

*Jason Field, Fountain Hills

A-Tim Simanton for Ray Patten, Gilbert

*Tom Paradise, Glendale

Ed Kulik, Goodyear

*Chuck Ransom, Litchfield Park

Tom Ewers, Maricopa County

Steven Hether, Mesa

Bob Lee, Paradise Valley

*Dennis Marks, Peoria

*Julie Belyeu, Phoenix

A-Dean Wise, Queen Creek

Dustin Schroff for Michael Clack, Scottsdale

Dale Crandell, Tolleson

Rick DeStefano, Wickenburg

*Jim Fox, Youngtown

*Jackson Moll, Home Builders Association

Sharon Bonesteel, Salt River Project

OTHERS IN ATTENDANCE

Scott Wilken, MAG

Steve Gross, MAG

Bill King, Goodyear

*Those members neither present nor
represented by proxy.

A-Those members participating via
audioconference

1. Call to Order

Michael Williams, Chair, called to order the May 16, 2012 meeting of the MAG Building Codes Committee (BCC) at 2:00 p.m.

2. Introductions

Voting members Tim Simanton and Dean Wise attended via telephone conference call. All members and guests introduced themselves.

3. March 21, 2012 Meeting Minutes

Steven Hether made a motion to approve the minutes. Tom Ewers seconded the motion, and the minutes were approved unanimously.

4. Call to the Audience

There were no comments from the audience.

5. Comments From the Committee

Bob Lee said that the AZBO Annual Business Meeting will take place July 17-19, in Payson at the Best Western. He said there will be a golf tournament the first day, with chapter meetings that evening. He said that the business meeting will be held the morning of the second day. He said that there will be professional development in the afternoon of the second day featuring Dr. Paul Melendez of the University of Arizona. He said the third day will include a roundtable discussion on the changing face of building inspections. He said that after lunch on the third day there will be a demonstration of a blower door test.

Michael Williams welcomed Sharon Bonesteel, SRP as a non-voting member to the committee.

6. SB1598 – Building Inspections

Steven Hether discussed the meeting the City of Mesa held on March 21, 2012, regarding SB1598 and its effects on building inspections and building plan review. He said that Mesa's position is that building inspections are not affected by SB1598 because they are requested by the applicant. He said that the city's position is that plan review is affected by SB1598. He said that Mesa examined current plan review practices to see what needs to be done to come into compliance, and found that a number of their practices are already compliant. He said that any changes needed for compliance have to be in place by December 31, 2012. He said that the bill requires an administrative review process and a substantive review process, as well as the establishment of turn-around times for plan review. He said that the city code already requires the establishment of turn-around times, called Penalty Times, and if those times are not met, the review fee is refunded to the applicant. He said that the city is still discussing creating a waiver that would allow an applicant to waive their rights under SB1598, and there is discussion within the city about when in the process to offer such a waiver. He said that for the administrative review, they are going to have the owner and design professional certify that everything on the required deliverables checklist is included in the submittal.

Randal Westacott asked what the city will do if the application is found to be incomplete after the applicant has certified that it is complete. Steven Hether said that if something is missing from the application, the application will be rejected during the substantive review, and the applicant will have to start the process over again. He said that their applications will be very clear that every required deliverable must be present or the application will be rejected.

Steven Hether said that during the substantive review, they will have the opportunity to ask one round of questions, and if those questions are not answered the application will be rejected. He said that applicants may choose to waive their rights under SB1598 and allow reviews beyond the second review, but if they do not, and the comments are not addressed at the second review, the application will be rejected. He said that if applicants request reviews that are expedited or super-expedited, the waiver will be required.

Steven Hether discussed the criteria used for setting review times for the substantive review process. He said that some things that can be taken into consideration when setting review times include the complexity of the review, the economic impact of a delay, and the impact on public safety. He said that, based on the criteria in the legislation, their top priorities will be all commercial and new residential projects; their second priority will be all commercial addenda, residential addenda, deferred submittals, and sign permits; their third priorities will be all residential projects, such as pools, additions, and remodels. He said that they took the current turn-around times and adjusted them based on the priority of the project type. He said that the existing review times include a time of 10 business days for the third review. Under the revised review times, he said, third review will be 18 business days, but will only be allowed if the waiver is signed.

Randal Westacott asked if the waiver will be shared with the group when it is available. Steven Hether said that he will share everything they have with the group.

Steven Hether said that they have added an option to their online customer contact service to allow customers to ask for an official interpretation of code. He said that they are also in the process of establishing a catalog of official interpretations on the website.

Bob Lee asked if this was the presentation given to other jurisdictions at the March meeting held at Mesa. Steven Hether said that the March meeting was in regard to inspections. He said that the questions about building inspections under SB1598 seemed to be settled quickly, that building inspections are requested and, therefore, don't fall under the requirements of the bill.

7. MAG Building Code Amendments and Standards Book

Scott Wilken said that at the March meeting, the committee discussed the first six items on the list. He said that Item 7 required utility companies that are installing lighting on private property to get all required permits and inspections. He said that this item was adopted by Regional Council in 1996. Bob Lee said that he has never experienced this situation, but thinks that the rule is still applicable. Mike Baxley said he agrees. Tom Ewers said that in unincorporated areas, there are a lot of streets that are tracts, and utility companies are exempted from building code requirements by state statute when they install lights in those tracts. Michael Williams said that when this was originally discussed, SRP wanted to provide lumens to a church project in Gilbert. He said that they did not want to follow the National Electric Code (NEC), but wanted to follow their own code, and install and power light poles without a service point, like they do in the public right of way (ROW). He said at that meeting, they discussed what would be

required, and determined that SRP would have to follow then NEC. He said that the City of Phoenix developed a standard that would allow a utility to install without a compliant service or meter, but would have one fuse disconnect typically underground and a special handhold that could only be opened by SRP. He said that Tempe adopted that standard, but to his knowledge it has not been used.

Sharon Bonesteel said that she would like to talk to her staff at SRP and do more research and discuss this item again at the next meeting. Randal Westacott made a motion that Item 7 be tabled to the next meeting. Ed Kulik seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 8 addressed the requirements of fireplace construction and air quality. Tom Ewers said that this was adopted by Maricopa County in response to PM-10 regulations, and is still in effect. He made a motion that the document be adopted as-is. Steven Hether seconded the motion. Michael Williams noted that the copy of the standard included is an out-dated standard, and was last revised in 2008. Tom Ewers said that the language was taken from state statute, and applies to certain townships and ranges that are in the non-attainment area. He said that the standards referenced by the state statute might be out of date. Randal Westacott suggested ensuring that the standards that are referenced by this document are up-to-date. Tom Ewers withdrew his earlier motion. Randal Westacott made a motion that Item 8 be tabled to the next meeting in order to ensure that the standards referenced are current. Mike Baxley seconded the motion, and the motion passed unanimously. Tom Ewers said that he would research the item and provide an updated version at the next meeting.

Scott Wilken said that Item 9 was regarding plastic tags on wood trusses, and that there is no document related to this in the packet. Randal Westacott said that all trusses are still required to be labeled, and Dustin Schroff sends out quarterly reports of truss manufacturers who are in compliance with the standards. He said he's not aware of any plastic tagging requirements. Michael Williams asked if this item ties into Item 11. Scott Wilken said that Item 11 requires that the truss identify the manufacturing company, the truss load, and the spacing of trusses. Randal Westacott suggested checking in the field to see if the needed information is being provided, and if a standard like this is even necessary any more. Scott Wilken said that it's possible that if a standard like this is still needed, only Item 11 is needed, and Item 9 could be left out. Michael Williams said that, because the document references the UBC and most jurisdictions are using the IBC, it should at least be updated to the current code. Sharon Bonesteel said that a standard like this could be more useful during remodels, to provide a homeowner more information about the truss if original plans aren't available. Bob Lee made a motion that Item 9 and Item 11 be tabled to the next meeting in order to update the code reference and determine if these standards are still necessary. Dale Crandell seconded the motion, and the motion passed unanimously. Dustin Schroff volunteered to research the standard and bring the information to the next meeting.

Michael Williams said that Item 10 dealt with straw bale construction, and the standard adopted was the Pima County standard. He asked Sharon Bonesteel if the standard had been updated. Sharon Bonesteel said that it has been updated, and that she thought an addendum to the IRC or IBC has been added to address this. She added that the standard is still being used today. Mike Baxley made a motion to table Item 10 to the next meeting in order to examine the updated Pima County standard. Randal Westacott seconded the motion, and the motion passed unanimously. Mike Baxley volunteered to find the updated standard and send it to Scott Wilken.

Scott Wilken said that Item 12 recommended compliance with the accessibility standards in the Fair Housing Act or the 1997 UBC Chapter 11. Michael Williams said that the IBC after the 2006 edition is a fair housing safe harbor, meaning those standards are adopted as part of the IBC. Tom Ewers made a motion that Item 12 be included in the Historic section of the book. Ed Kulik seconded the motion, and the motion passed unanimously.

Bob Lee said that Item 13 has been incorporated into the IMC. He made a motion that Item 13 be included in the Historic section of the book. Randal Westacott seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 14 was from the 1997 UBC and was about pressure-treated sill plates on interior and exterior applications. Bob Lee said that the IRC and IBC have clarified this issue. He made a motion that Item 14 be included in the Historic section of the book. Mike Baxley seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 15 was from the 2000 IRC, and was regarding wind loads. Bob Lee questioned what the current standard is for this topic. He said that the document itself doesn't reference the 2000 IRC, and that he still uses this today. Mike Baxley said that the document references the wrong temperature, but the spreadsheet mentions a 2002 update to 34 degrees. He suggested that this item be updated to reflect the new temperature. Bob Lee made a motion that Item 15 be updated to 34 degrees winter design temperature. Mike Baxley seconded, and the motion passed unanimously. Scott Wilken said that if the table reference is correct, and the only change is the winter design temperature, he would make the change in the table as part of the final formatting process.

Scott Wilken said that Item 16 is standard language of an agreement with Southwest Gas to relocate a gas line without permit or clearance. Bob Lee said that he thought this provision allowed Southwest Gas to relocate by up to 10 feet without a permit. He said that if it allowed blanket permission to move gas lines, he would not vote for it, but if it allowed up to a maximum of 10 feet he could. He made a motion that Item 16 be updated to include a 10 foot maximum distance. He said he has used this recently, and may have a letter with current language that could be used to replace this item in the book. Ed Kulik seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 17 was a proposal that explains alternatives for complying with Chapter 11 of the 2000 IRC, the Energy Chapter. Randal Westacott made a motion that Item 17 be included in the Historic section of the book. Mike Baxley seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 18 references the 2000 IMC, allowing an exception when evaluating outdoor ventilation systems for schools. Randal Westacott said that he would accept something like this today if it could be properly documented. Tom Ewers said that he thinks this applies more to schools with gymnasiums, which want to use a different occupancy load for the gymnasiums themselves. Sharon Bonesteel said that she thinks with all the changes occurring in the energy calculations, this should either be Historic or updated. Bob Lee said that when this originally was discussed, it was because schools were receiving federal money to upgrade mechanical equipment. He questioned whether this item has any use anymore. Mike Baxley said that it is not needed as one adopts the energy code. Bob Lee made a motion to include Item 18 in the Historic section of the book. Ed Kulik seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 19 and Item 20 referenced the 1999 NEC and was regarding permitting requirements for commercial and residential solar photovoltaic installations. Bob Lee said that he uses these all the time, but they need to be updated. Mike Baxley said that they need to be updated to reflect current state statute. Sharon Bonesteel said that if the committee votes to update these two items, she will volunteer to write an updated version. Michael Williams said that it sounds like the committee wants to bring these two items into accordance with state law and update the references. Bob Lee added that acknowledgement letter requirements on both items need to be eliminated. Mike Baxley made a motion that Item 19 and Item 20 be updated to reflect the current state law and current NEC. Dale Crandell seconded the motion, and the motion passed unanimously.

Randal Westacott made a motion to include Item 21 in the Historic section of the book. Steven Hether seconded the motion, and the motion passed unanimously.

Bob Lee said that Item 22 is now in the code. He made a motion to include Item 22 in the Historic section of the book. Randal Westacott seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 23 is in regards to solar water heater systems requiring a permit. Bob Lee made a motion that Item 23 be included without changes. Mike Baxley seconded the motion, and the motion passed unanimously.

Scott Wilken said that Item 24 was for the 2000 IRC and disallowed foam products for fireblocking unless they are a listed material. Bob Lee said that this topic came up originally because a new foam product was available that some contractors wanted to use as a fireblock, but the product itself was flammable. Mike Baxley said that he still sees similar products today. Sharon Bonesteel said that there was recently discussion at the code hearings regarding foam products and fireblocking. Bob Lee said that the section number referenced may need to be updated. He made a motion to table Item 24 to the next meeting in order to do more research and update the text. Ed Kulik seconded the motion, and the motion passed unanimously.

Randal Westacott made a motion to include Item 25 in the Historic section of the book. Tom Ewers seconded the motion, and the motion passed unanimously.

Michael Williams said that that will be the last item the committee will discuss today. Scott Wilken thanked everyone who volunteered to research and update the tabled items. He said that the agenda for the next meeting will be sent out on June 13th, so he will need the updated text or a status update by Monday June 11th.

8. Updated MAG Building Codes Committee Membership

There were no updates.

9. Update Survey of Code Adoption

There were no updates.

10. Topics for Future Agendas

Michael Williams said that the July meeting will be canceled. He said that the Masonry Guild will present new engineered designs for fences at the next meeting.

There were no additional suggestions for future agenda items.

11. Adjournment

Dale Crandall made a motion to adjourn and Tom Ewers seconded the motion. The meeting was adjourned at 3:24 PM.

DETAIL DRAWN BY:



18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

ARIZONA MASONRY GUILD

EXP. B WIND
8 1/2 COURSE FENCE STANDARD

REVISIONS	ENGINEERED BY / DATE
△	G.FELTEN / BMJ
△	1/04/12

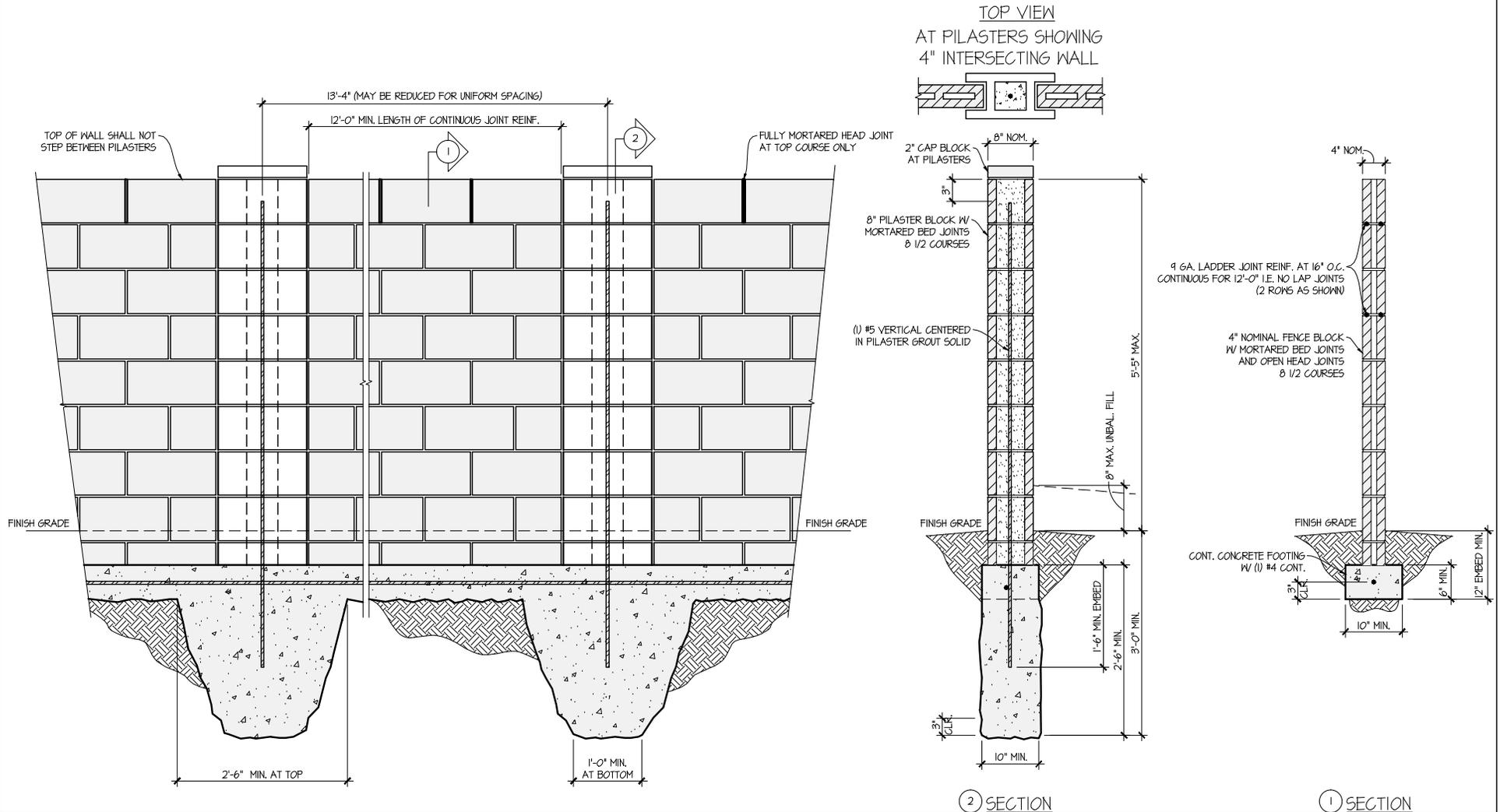
SHEET

SI.1

PRESUMPTIVE SOIL
LATERAL SOIL PASSIVE PRESSURE OF 200 PSF/FT



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:



18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

ARIZONA MASONRY GUILD

EXP. C WIND
8 1/2 COURSE FENCE STANDARD

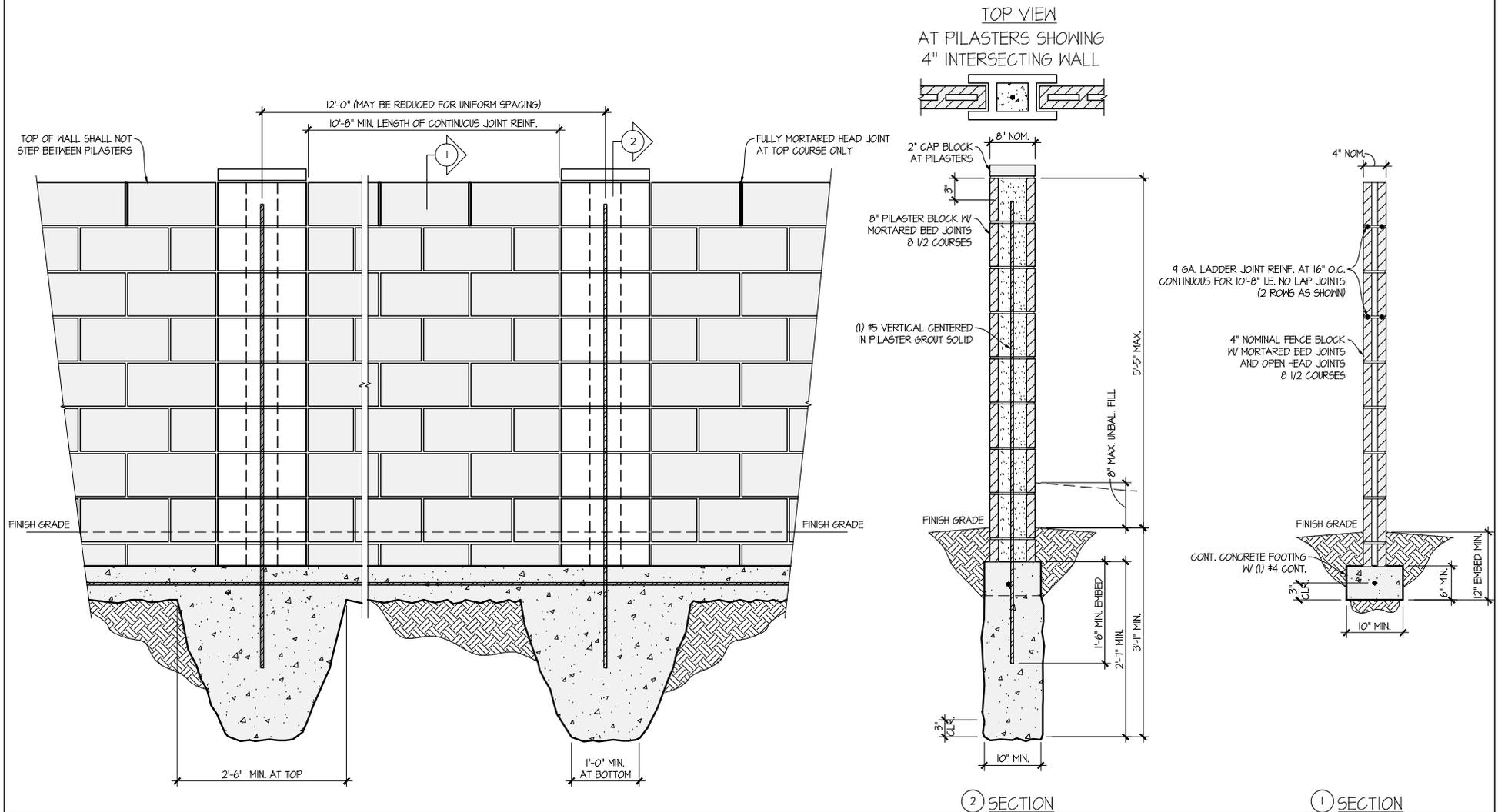
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Δ	G.FELTEN / BMJ
Δ	1/04/12

PRESUMPTIVE SOIL
LATERAL SOIL PASSIVE PRESSURE OF 200 PSF/FT

SHEET
S.I.



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

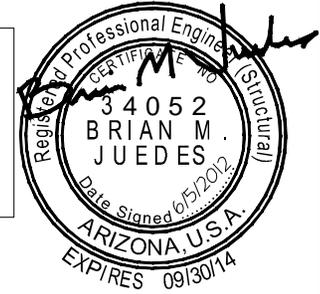
ARIZONA MASONRY GUILD

EXP. B WIND
9 1/2 COURSE FENCE STANDARD

REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	06/05/12
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GEOTECHNICAL REPORT #: -----	
GEOTECHNICAL REPORT DATE: -----	
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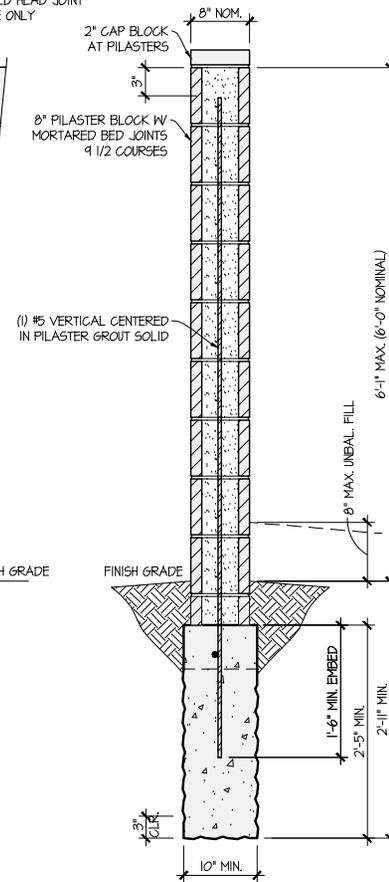
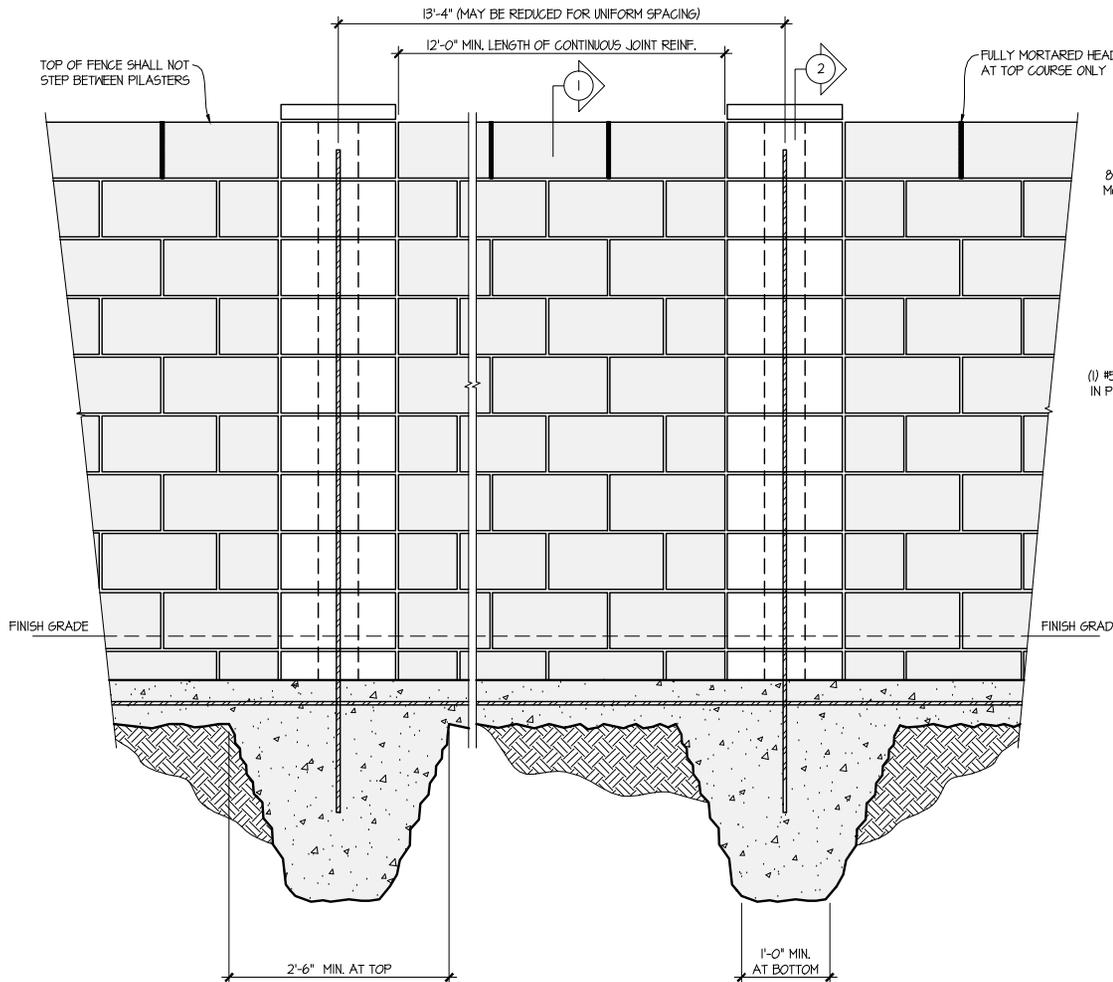
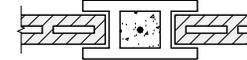
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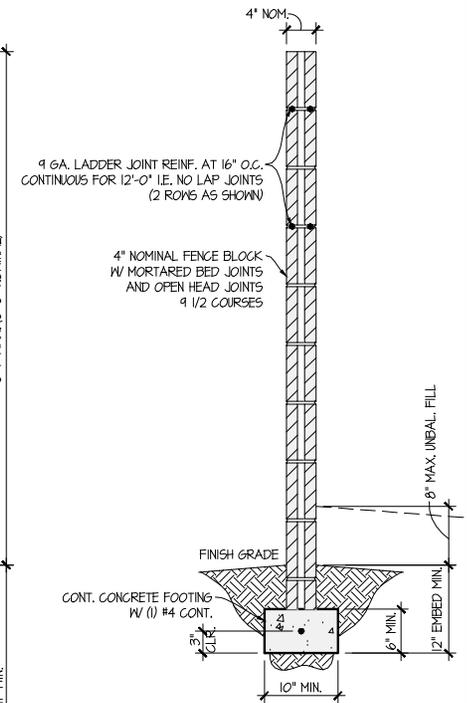


* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES

TOP VIEW
AT PILASTERS SHOWING
4" INTERSECTING WALL



② SECTION



① SECTION

4' INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

ARIZONA MASONRY GUILD

EXP. B WIND
9 1/2 COURSE FENCE STANDARD

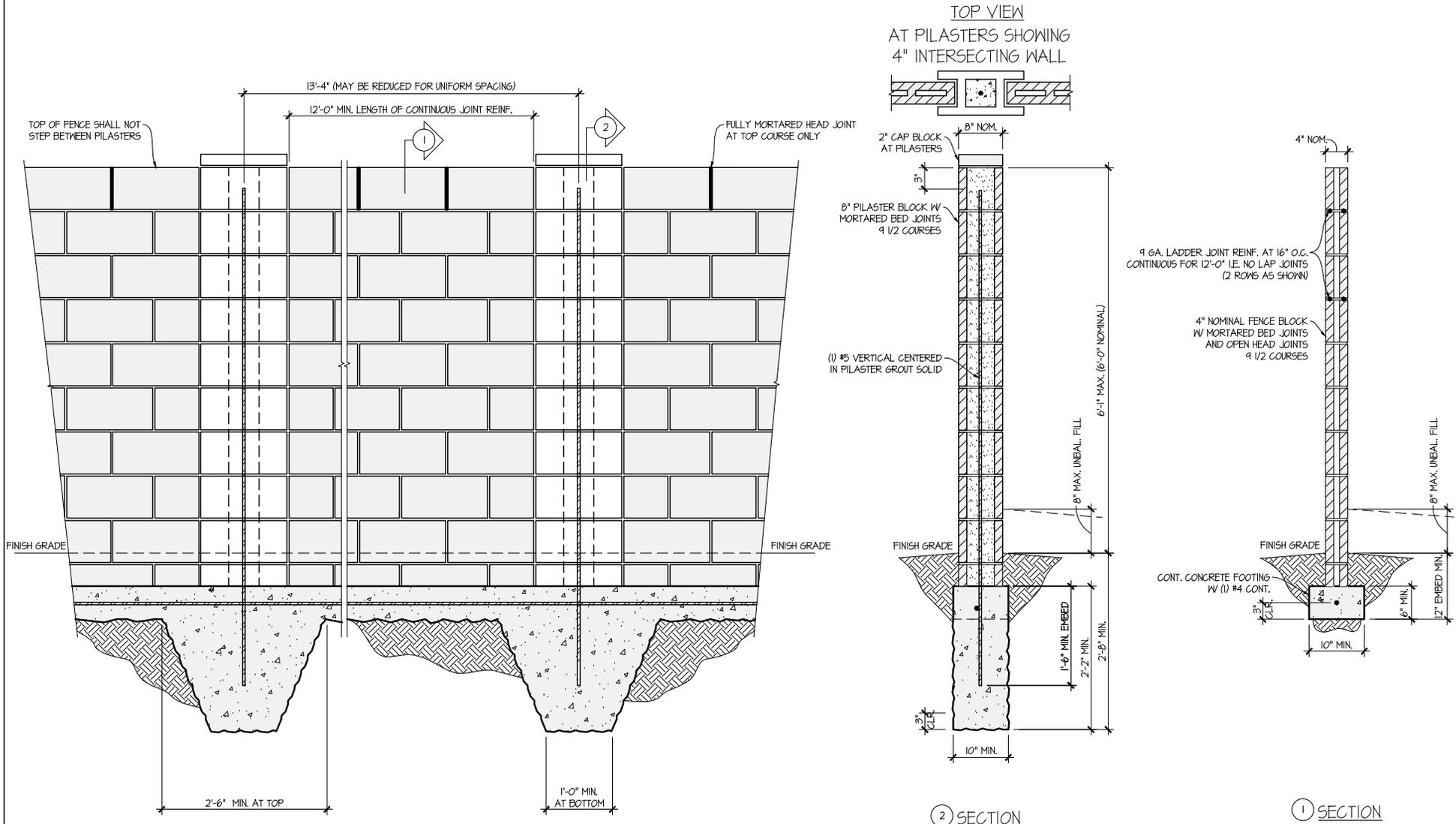
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Δ	G.FELTEN / BMJ
Δ	06/05/12
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GEO TECHNICAL REPORT #: _____	
GEO TECHNICAL REPORT DATE: --/--	
LATERAL SOIL PASSIVE PRESSURE OF 300 PSF/FT	
ALLOWABLE BEARING VALUE OF _____ PSF	

SHEET

SI.1



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

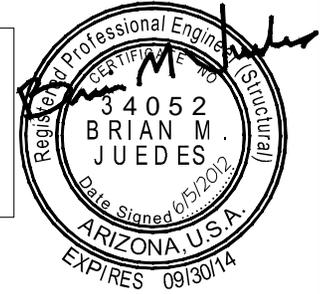
ARIZONA MASONRY GUILD

EXP. B WIND
9 1/2 COURSE FENCE STANDARD

REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	06/05/12
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GEOTECHNICAL REPORT #: _____	
GEOTECHNICAL REPORT DATE: --/--	
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ALLOWABLE BEARING VALUE OF _____ PSF	

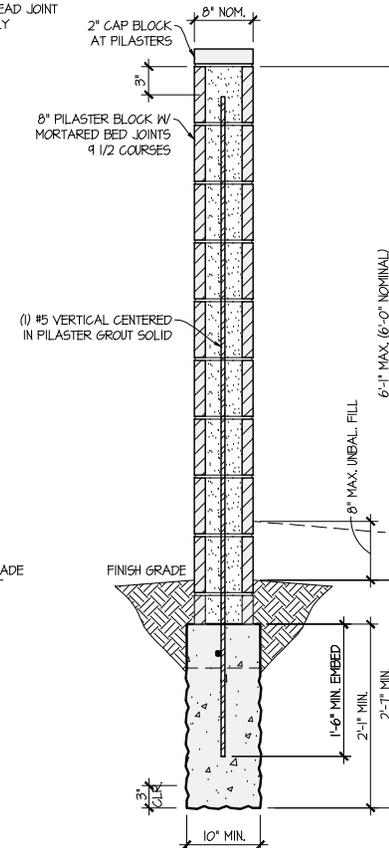
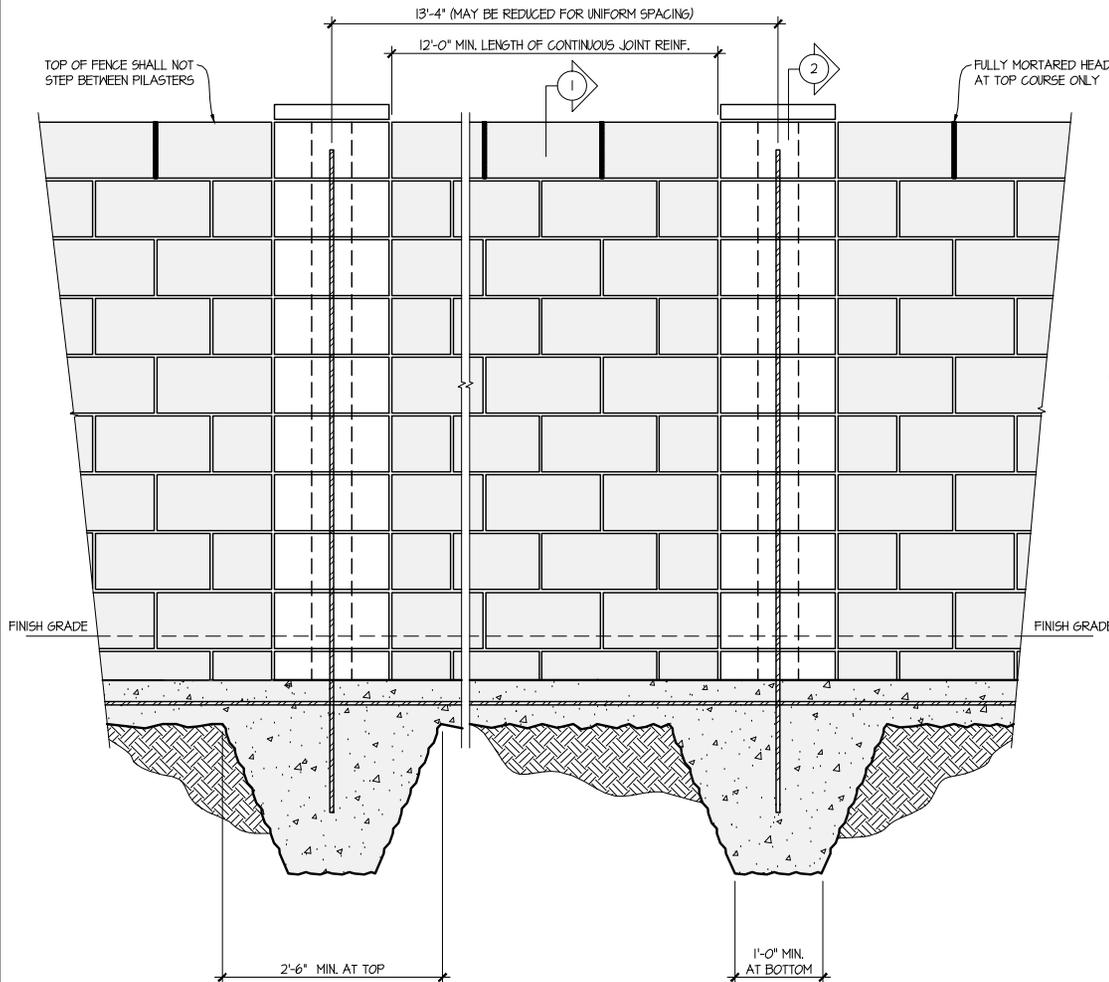
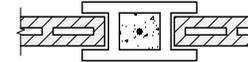
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SI.1

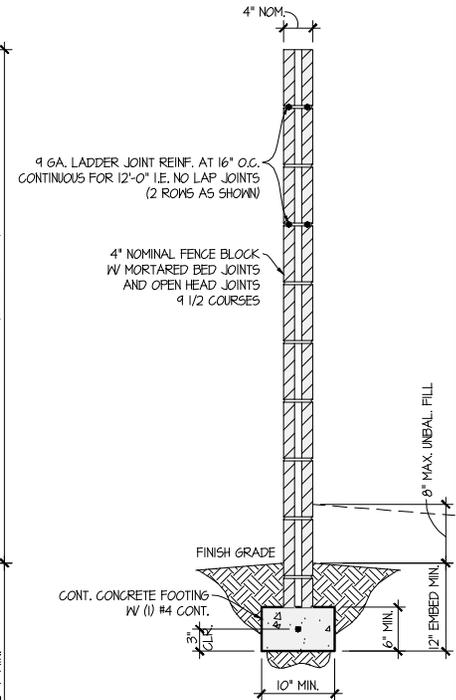


* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES

TOP VIEW
AT PILASTERS SHOWING
4" INTERSECTING WALL



② SECTION



① SECTION

4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:



18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

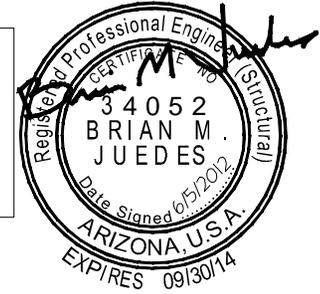
ARIZONA MASONRY GUILD

EXP. B WIND
9 1/2 COURSE FENCE STANDARD

REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	06/05/12
GEOTECHNICAL REPORT BY: _____	
GEOTECHNICAL REPORT #: _____	
GEOTECHNICAL REPORT DATE: --/--	
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ALLOWABLE BEARING VALUE OF _____ PSF	

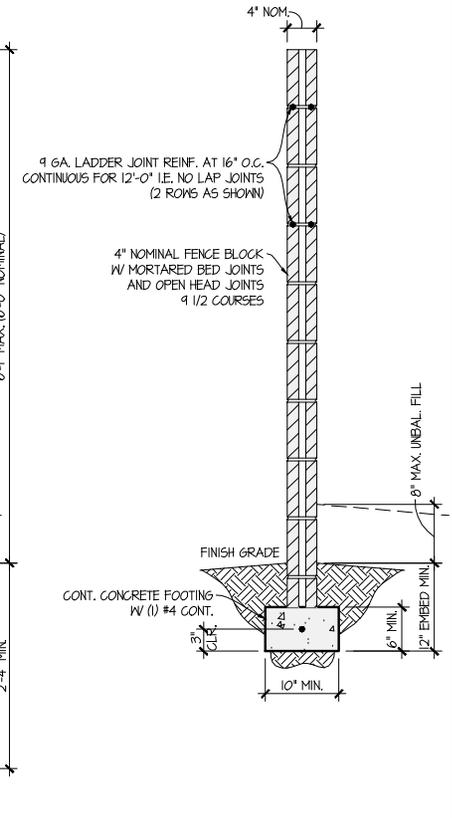
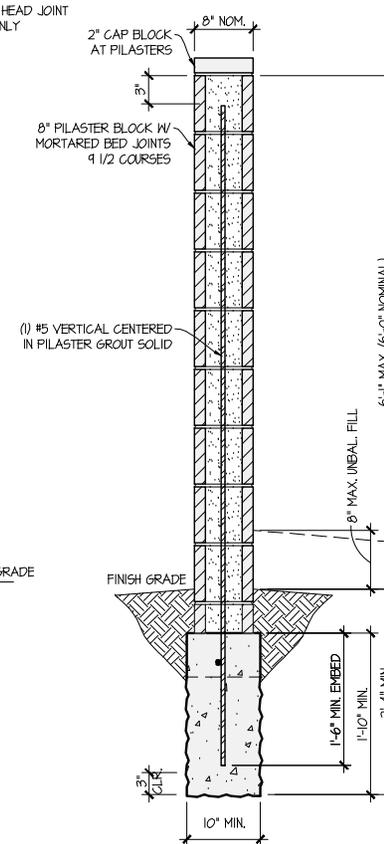
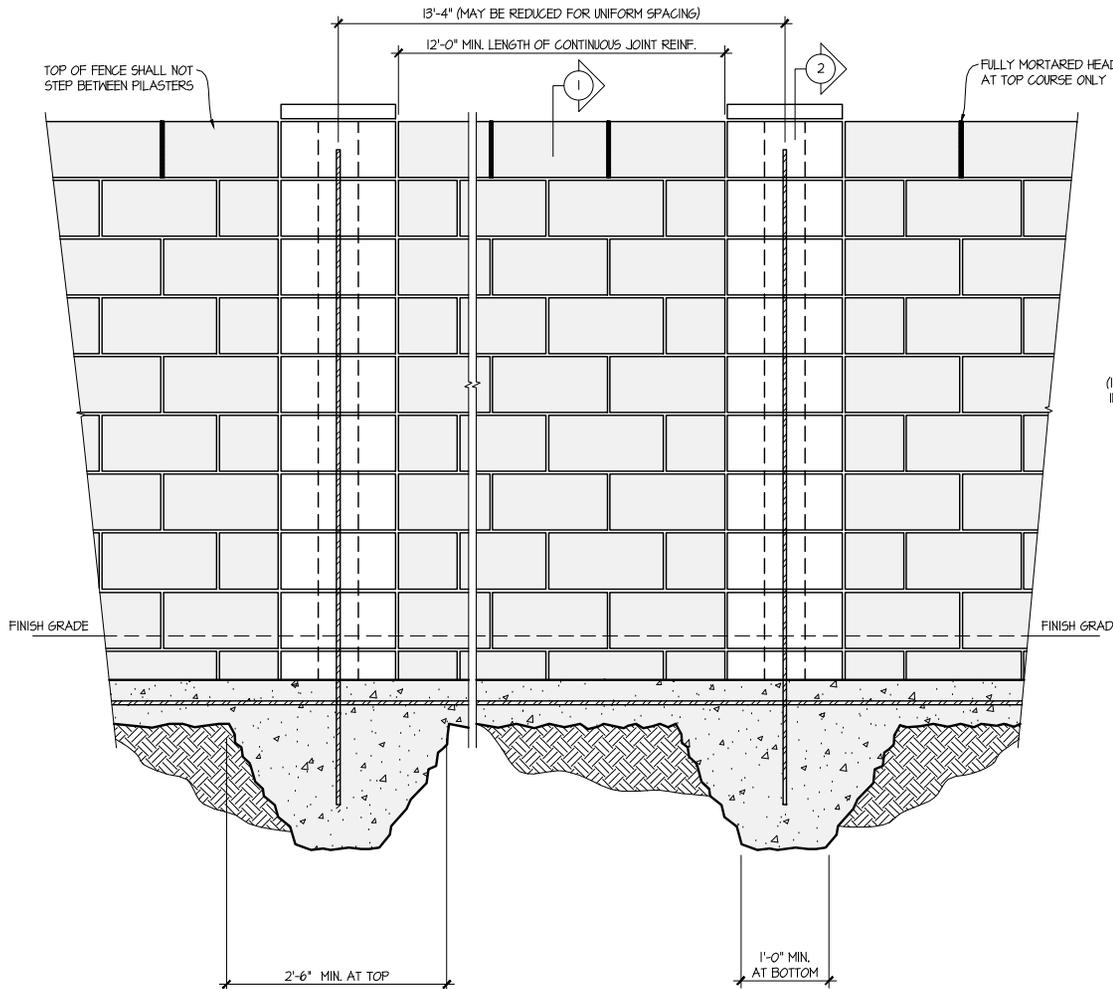
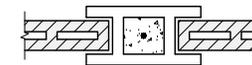
SHEET

SI.1



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES

TOP VIEW
AT PILASTERS SHOWING
4" INTERSECTING WALL



② SECTION

① SECTION

4" INTERLOCKING BLOCK WALL W/ PILASTERS

SCALE: 1/2" = 1'-0"

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

ARIZONA MASONRY GUILD

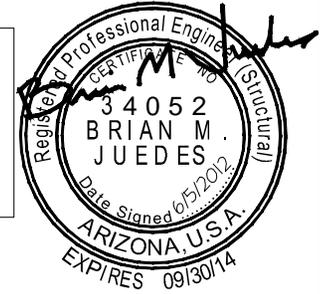
EXP. B WIND - GILBERT
9 1/2 COURSE FENCE STANDARD

REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	06/05/12

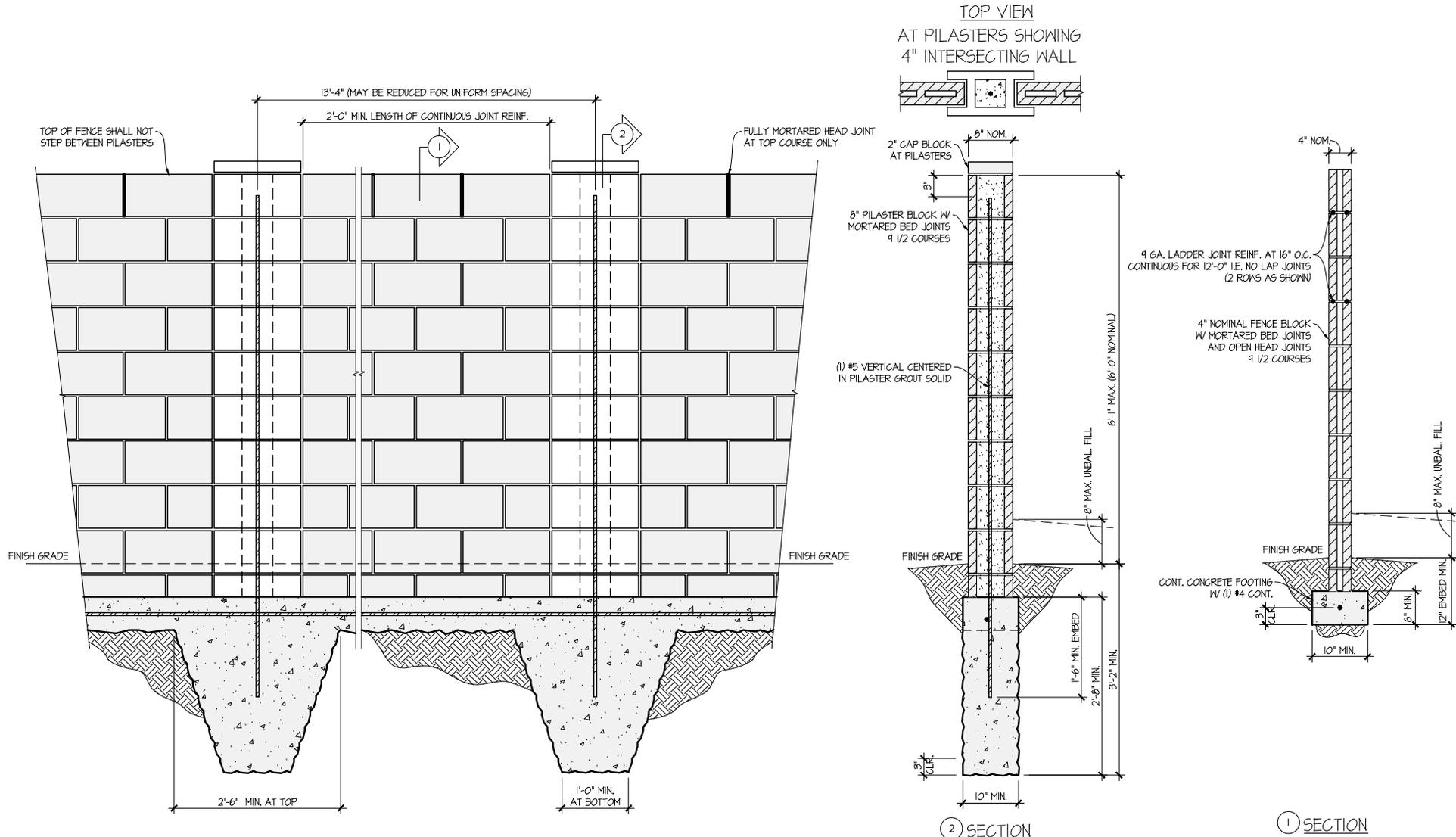
SHEET

SI.1

PRESUMPTIVE SOIL
TOWN OF GILBERT ORDINANCE 2086 EXCEPTION 1609.4



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

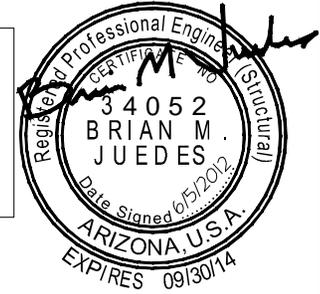
ARIZONA MASONRY GUILD

EXP. C WIND
9 1/2 COURSE FENCE STANDARD

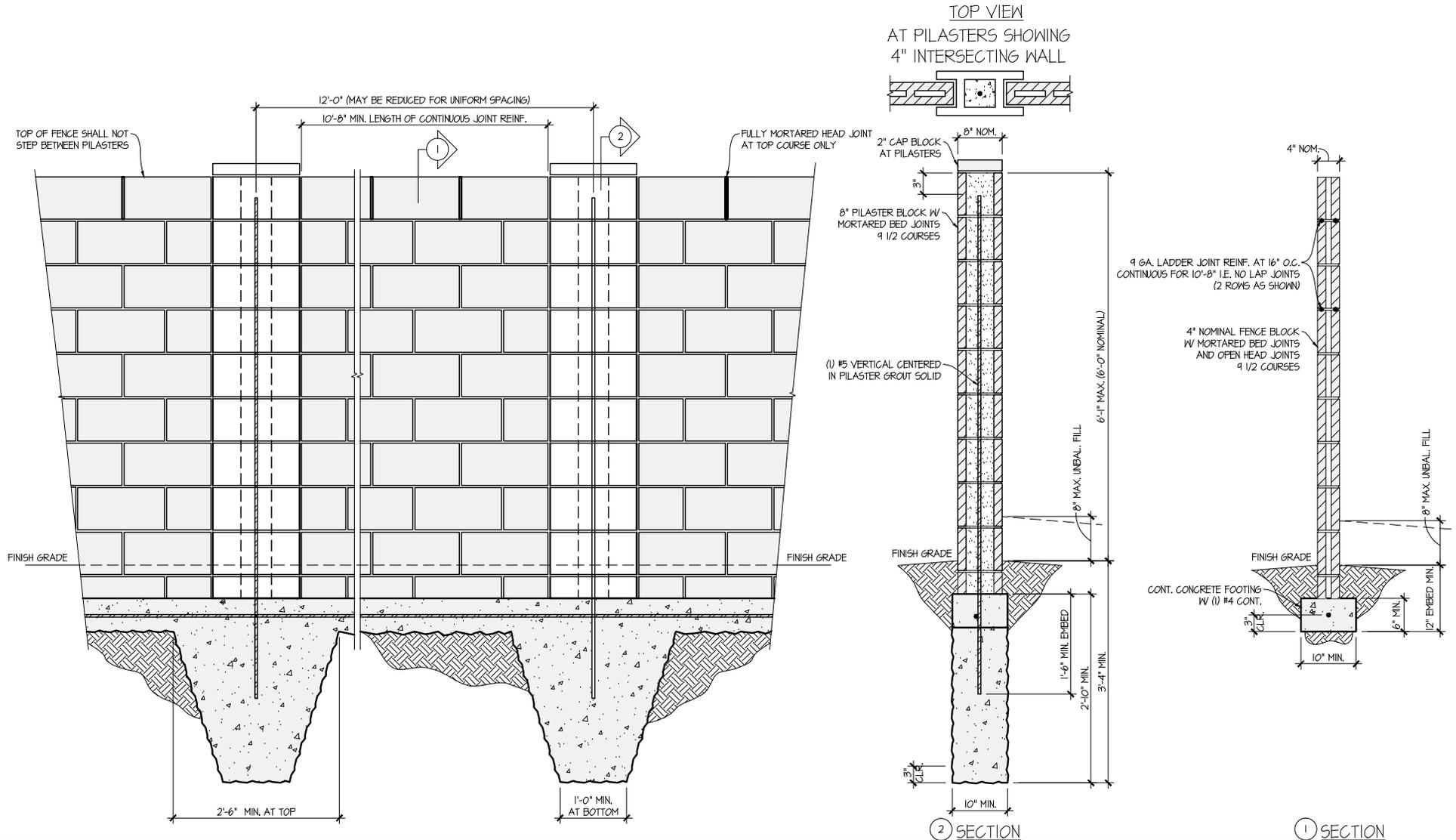
REVISIONS	ENGINEERED BY / DATE
△	G.FELTEN / BMJ
△	06/05/12

PRESUMPTIVE SOIL
LATERAL SOIL PASSIVE PRESSURE OF 200 PSF/FT

SHEET
S.I.



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

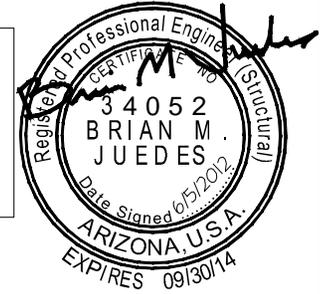
ARIZONA MASONRY GUILD

EXP. C WIND
9 1/2 COURSE FENCE STANDARD

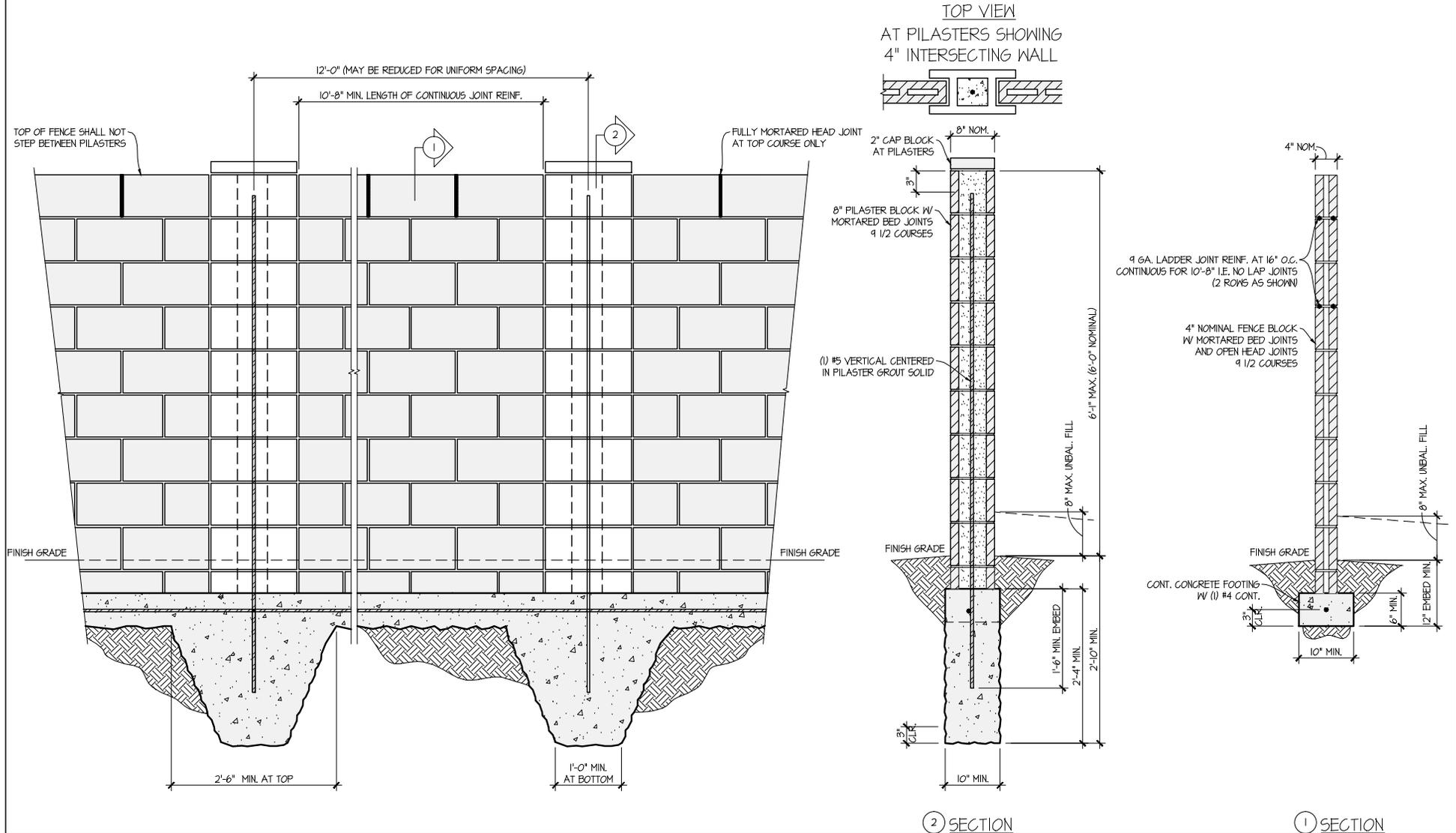
REVISIONS	ENGINEERED BY / DATE
△	G.FELTEN / BMJ
△	06/05/12
GEOTECHNICAL REPORT BY: _____	
GEOTECHNICAL REPORT #: _____	
GEOTECHNICAL REPORT DATE: --/--	
LATERAL SOIL PASSIVE PRESSURE OF 300 PSF/FT	
ALLOWABLE BEARING VALUE OF _____ PSF	

SHEET

S.I.



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

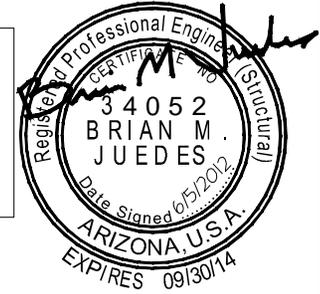
ARIZONA MASONRY GUILD

EXP. C WIND
9 1/2 COURSE FENCE STANDARD

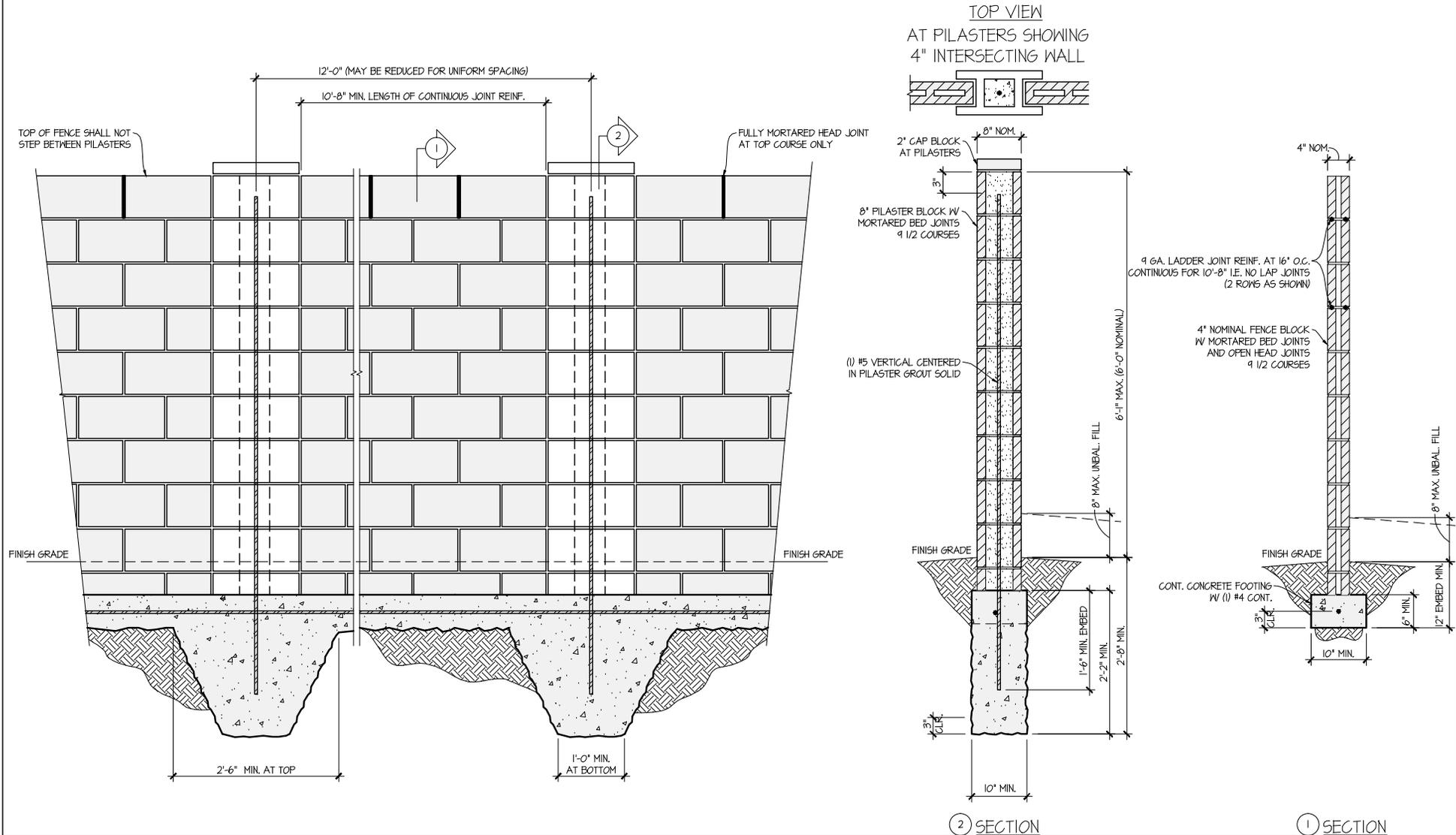
REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	06/05/12
GEO TECHNICAL REPORT BY: _____	
GEO TECHNICAL REPORT #: _____	
GEO TECHNICAL REPORT DATE: --/--	
LATERAL SOIL PASSIVE PRESSURE OF 350 PSF/FT	
ALLOWABLE BEARING VALUE OF _____ PSF	

SHEET

SI.1



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:

FELTEN GROUP
ENGINEERS • ARCHITECTS • DESIGNERS

18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

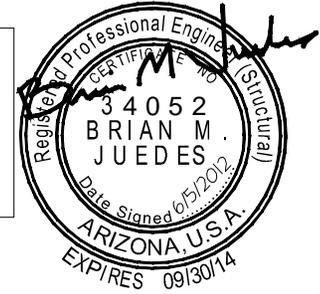
ARIZONA MASONRY GUILD

EXP. C WIND
9 1/2 COURSE FENCE STANDARD

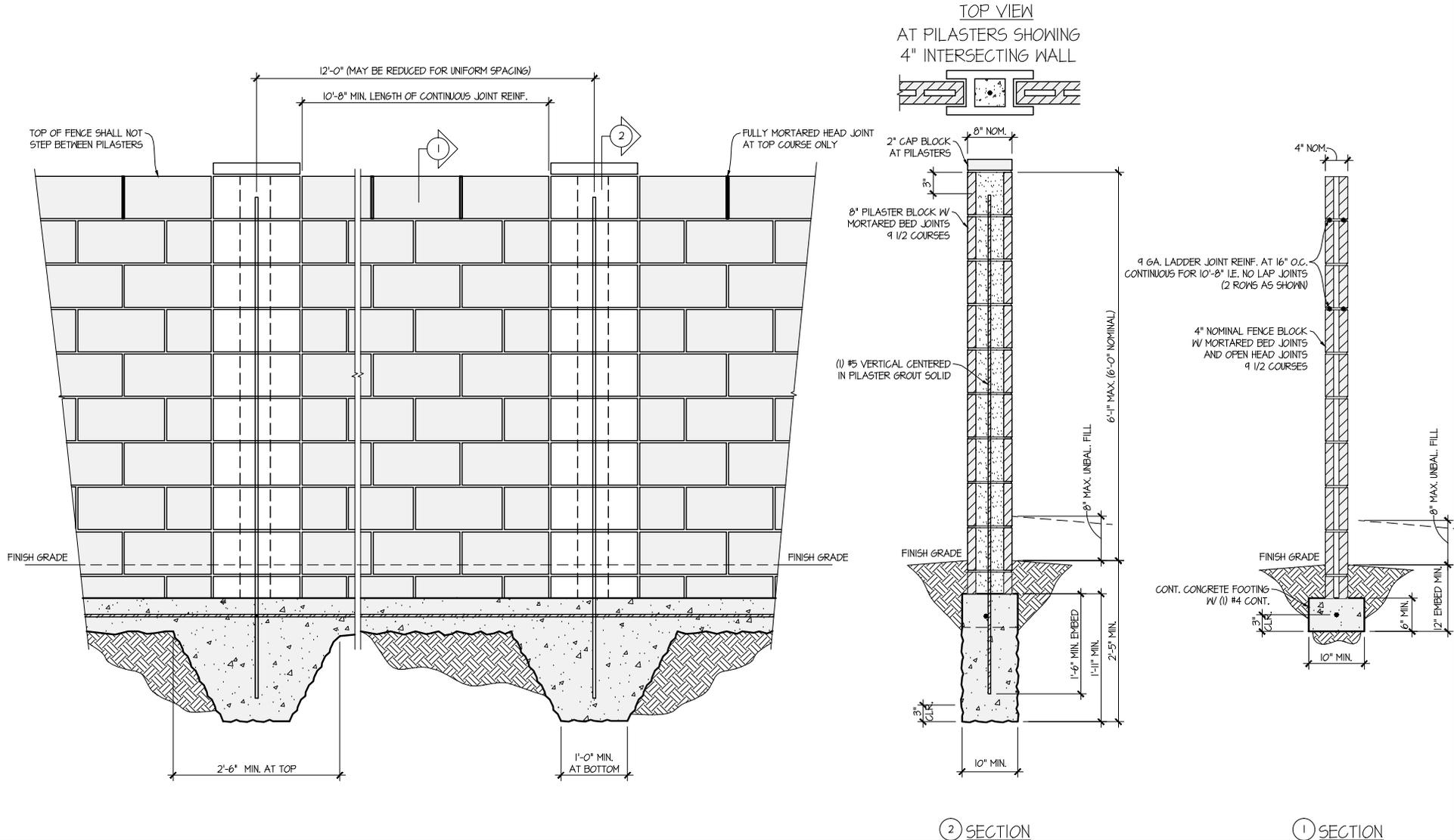
REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	06/05/12
GEO TECHNICAL REPORT BY: _____	
GEO TECHNICAL REPORT #: _____	
GEO TECHNICAL REPORT DATE: --/--	
LATERAL SOIL PASSIVE PRESSURE OF 450 PSF/FT	
ALLOWABLE BEARING VALUE OF _____ PSF	

SHEET

S.I.



* SEE SHEET GSN FOR GENERAL STRUCTURAL NOTES



4" INTERLOCKING BLOCK WALL W/ PILASTERS

DETAIL DRAWN BY:



18325 N. ALLIED WAY
SUITE 200
PHOENIX, AZ 85054

ARIZONA MASONRY GUILD

GENERAL STRUCTURAL NOTES
FOR MASONRY FENCES

REVISIONS	ENGINEERED BY / DATE
Δ	G.FELTEN / BMJ
Δ	04/04/12

SHEET

GSN



* SEE SHEET S1.I FOR MASONRY FENCE DESIGN

<p style="text-align: center;">CONCRETE</p> <ol style="list-style-type: none"> ALL MATERIALS, PROCEDURES, PLACEMENT, FORMWORK, LAPS, ETC. TO CONFORM TO THE LATEST ACI STANDARDS. SHALL MEET ALL THE REQUIREMENTS OF ACI 301, TYPE II CEMENT U.O. MINIMUM STRENGTHS AT 28 DAYS SHALL BE AS FOLLOWS, U.O.: CONVENTIONAL FOUNDATIONS - 2500 PSI MAXIMUM SIZE OF AGGREGATE SHALL BE 1 INCH. AGGREGATE PER ASTM C571 OR C33. MAXIMUM SLUMP TO BE 8 INCHES. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED AS ADDITIVES. FLYASH MAY BE USED PROVIDED IT MEETS ASTM C618 TYPE F AND DOES NOT EXCEED 20% OF THE WEIGHT OF TOTAL CEMENTITIOUS MATERIAL FOR CONCRETE STRENGTH UP TO AND INCLUDING 3000 PSI. PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH FROM COLD OR HOT WEATHER IN COMPLIANCE WITH ACI 305 AND ACI 306. THE CONTRACTOR SHALL PROVIDE PROPER CURING TO MINIMIZE SHRINKAGE CRACKING AND ENSURE PROPER STRENGTH GAIN. EVALUATION AND ACCEPTANCE OF CONCRETE SHALL BE BASED ON CYLINDER STRENGTH TESTS AS OUTLINED IN THE APPLICABLE BUILDING CODE. CONCRETE THAT IS IN DIRECT CONTACT WITH NATIVE SOILS CONTAINING WATER-SOLUBLE SULFATES SHALL CONFORM TO THE FOLLOWING: FOR SULFATE CONCENTRATIONS GREATER THAN OR EQUAL TO 0.1% BUT LESS THAN 0.2% BY WEIGHT CONCRETE SHALL BE MADE WITH ASTM C 150 TYPE II CEMENT, OR AN ASTM C 595 OR C 1151 HYDRAULIC CEMENT MEETING MODERATE SULFATE-RESISTANT HYDRAULIC CEMENT (M5) DESIGNATION. FOR SULFATE CONCENTRATIONS EQUAL TO OR GREATER THAN 0.2% BY WEIGHT, CONCRETE SHALL BE MADE WITH ASTM C 150 TYPE V CEMENT OR AN ASTM C 595 OR C 1151 HYDRAULIC CEMENT MEETING HIGH SULFATE-RESISTANT HYDRAULIC CEMENT (H5) DESIGNATION AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. 	<p style="text-align: center;">GRADING AND DRAINAGE</p> <ol style="list-style-type: none"> PROPER GRADING SHALL BE PROVIDED DURING CONSTRUCTION AS WELL AS THROUGHOUT THE LIFE OF THE STRUCTURE. LANDSCAPE WATERING SHOULD NOT LEAD TO MOISTURE INFILTRATION OR MOISTURE CONTENT FLUCTUATION IN THE SOILS UNDER THE FOUNDATION. IT IS RECOMMENDED THAT VEGETATION BE KEPT A MINIMUM OF 3 FEET FROM THE STRUCTURE AND THAT THE VEGETATION BE DESERT TYPE. (SHALLOW WATERING, MOISTURE NOT TO PENETRATE INTO THE SOIL MORE THAN 8 INCHES). IT IS RECOMMENDED THAT TREES BE KEPT AWAY FROM THE STRUCTURE SUCH THAT THE DRIP LINE OF THE MATURE TREE DOES NOT OVERLAP THE FOUNDATION. 	<p style="text-align: center;">METHOD OF CONSTRUCTION</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT OR ENGINEER AND SHALL BE RESOLVED BEFORE PRECEDING WITH THE WORK AFFECTED.
<p style="text-align: center;">MASONRY</p> <ol style="list-style-type: none"> ALL MATERIALS, PROCEDURES, PLACEMENT, LAPS, ETC. TO CONFORM TO THE LATEST ACI STANDARDS. CONCRETE MASONRY UNITS - NET AREA COMPRESSIVE STRENGTH OF CMU = 1900 PSI, ASTM C40, GRADE N. F_m = 1500 PSI GROUT - 2000 PSI CONFORMING TO ASTM C476. MORTAR - TYPE S - 2000 PSI PORTLAND CEMENT / LIME OR MORTAR CEMENT CONFORMING TO ASTM C270. MORTAR MAY BE USED IN LIEU OF GROUT IN THE PILASTER CELL PROVIDED THAT THE MORTAR IS PLACED IN 8 INCH LIFTS AS THE FENCE IS BUILT JOINT REINFORCING f_y = 70000 PSI CONFORMING TO ASTM A951. JOINT REINFORCING TO BE CONTINUOUS (NO SPLICES) AT THE BOTTOM OF THE FIRST AND THIRD COURSE FROM THE TOP OF THE WALL. AS SHOWN IN THE DRAWINGS. AS AN ALTERNATE, JOINT REINFORCING MAY BE SPLICED WITH NO LAP, PROVIDED THAT AN ADDITIONAL ROW OF JOINT REINFORCING IS PLACED AT THE BOTTOM OF THE SECOND AND FORTH COURSE FROM THE TOP OF THE WALL AND PROVIDED THAT THE SPLICES BETWEEN ADJACENT ROWS OF JOINT REINFORCING ARE STAGGERED BY A MINIMUM OF 4 FEET ALL REINFORCED CELLS OR PILASTERS SHALL BE SOLID GROUTED. MASONRY UNITS AND MORTAR THAT ARE IN DIRECT CONTACT WITH NATIVE SOILS CONTAINING WATER SOLUBLE SULFATES SHALL BE ADDRESSED BY THE CONTRACTOR. CMU EXPOSURE TO WATER (BOTH ABOVE AND BELOW GRADE) IS NOT ADDRESSED IN THIS DESIGN AND SHALL BE ADDRESSED BY THE CONTRACTOR. 	<p style="text-align: center;">SOIL</p> <ol style="list-style-type: none"> SEE SHEET S1.I FOR GEOTECHNICAL REPORT INFORMATION IN THE ABSENCE OF A GEOTECHNICAL REPORT, PRESUMPTIVE SOIL DESIGN VALUES SHALL BE USED. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE ADEQUACY OF THE PRESUMPTIVE SOIL DESIGN VALUES USED FOR THE PROJECT. THE CLIENT ALSO ASSUMES FULL RESPONSIBILITY FOR THE ADEQUACY OF THE ASSUMED NON-EXPANSIVE, NON-COLLAPSABLE AND NON-CORROSIVE SOIL PROPERTIES PRESUMPTIVE SOIL DESIGN VALUES ARE: ALLOWABLE SOIL BEARING = 1000 P.S.F. 12" BELOW GRADE, EQUIVALENT FLUID PRESSURE = 35 psf/ft, PASSIVE PRESSURE = 200 psf/ft, COEFFICIENT OF FRICTION = 35 SOIL IS ASSUMED TO BE NON-EXPANSIVE NON-COLLAPSABLE, AND NON-CORROSIVE. ALL EXCAVATION, FILL (INCLUDING RETAINING COMPACTION, AND SOIL RELATED OPERATIONS SHALL BE PERFORMED ACCORDING TO THE GEOTECHNICAL REPORT. 	<p style="text-align: center;">GENERAL</p> <ol style="list-style-type: none"> ALL WORK SHALL COMPLY WITH THE GENERAL NOTES, DRAWINGS, APPLICABLE BUILDING CODES AND ALL LOCAL ORDINANCES, LAWS, REGULATIONS, AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN TYPICAL DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE IN THE DRAWINGS. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER IN ADVANCE OR AS SHOWN ON THESE DRAWINGS. THE STANDARD OF CARE FOR ALL PROFESSIONAL ENGINEERING, AND RELATED SERVICES PERFORMED OR FURNISHED BY FELTEN GROUP, WILL BE THE CARE AND SKILL ORDINARILY USED BY MEMBERS OF THE SUBJECT PROFESSION PRACTICING UNDER SIMILAR CIRCUMSTANCES AT THE SAME TIME AND IN THE SAME LOCALITY. FELTEN GROUP MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OR OTHERWISE, IN CONNECTION WITH FELTEN GROUP'S SERVICES. FELTEN GROUP AND ITS CONSULTANTS MAY USE OR RELY UPON THE DESIGN SERVICES OF OTHERS, INCLUDING, BUT NOT LIMITED TO, ENGINEERS, ARCHITECTS, DESIGNERS, CONTRACTORS, MANUFACTURERS, AND SUPPLIERS. ALL DESIGN DOCUMENTS PREPARED OR FURNISHED BY FELTEN GROUP ARE INSTRUMENTS OF SERVICE, AND FELTEN GROUP RETAINS OWNERSHIP AND PROPERTY INTEREST (INCLUDING THE COPYRIGHT) IN SUCH DOCUMENTS, WHETHER OR NOT THE PROJECT IS COMPLETED. CLIENT SHALL NOT REUSE THE DOCUMENTS WITHOUT WRITTEN PERMISSION FROM FELTEN GROUP. THE CONTRACTOR, NOT FELTEN GROUP, IS RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT, AND FELTEN GROUP IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR OR MATERIAL SUPPLIER. FOR SAFETY PRECAUTIONS, PROGRAMS OR ENFORCEMENT, OR FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES EMPLOYED BY THE CONTRACTOR, FELTEN GROUP SHALL NOT AT ANY TIME SUPERVISE, DIRECT, OR HAVE CONTROL OVER ANY CONTRACTORS WORK FELTEN GROUP NEITHER GUARANTEES THE PERFORMANCE OF ANY CONTRACTOR NOR ASSUMES RESPONSIBILITY FOR ANY CONTRACTOR'S FAILURE TO FURNISH AND PERFORM ITS WORK IN ACCORDANCE WITH THE CONTRACT BETWEEN CLIENT AND SUCH CONTRACTOR. FELTEN GROUP WILL NOT HAVE CONTROL OVER NOR BE NEITHER RESPONSIBLE NOR LIABLE IN ANY WAY FOR SAFETY PROCEDURES, SAFETY TRAINING AND PROGRAMS OR OTHER SAFETY RELATED ASPECTS OF THE WORK OF THE PROJECT SINCE THESE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WALL HEIGHT SHOWN BASED ON ACTUAL 8" TALL BLOCK HEIGHT TOP OF FENCE SHALL NOT STEP BETWEEN PILASTERS
<p style="text-align: center;">STEEL REINFORCEMENT</p> <ol style="list-style-type: none"> SHALL BE SUPPLIED AND INSTALLED PER THE LATEST ACI STANDARDS. USE ASTM A615 GRADE 60 THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3" EXPOSED TO EARTH OR WEATHER 1 1/2" NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND 3/4" UNLESS NOTED OTHERWISE, LAP SPLICES SHALL BE 48 BAR DIAMETERS MINIMUM. STAGGER ALTERNATE SPLICES A MINIMUM OF 1 LAP LENGTH. PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF FOOTINGS AND WALLS. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE. 	<p style="text-align: center;">WIND</p> <ol style="list-style-type: none"> 10 PSF LATERAL WIND PRESSURE, 2006/2009 IBC, 90 MPH, EXP. B ASCE 7-05/10 NOTE: ASCE 7-02 FIGURE 6-20 TO REPLACE 7-05 FIGURE 6-20 TO KEEP LATERAL WIND FORCE CONSISTENT FOR RESIDENTIAL FENCES AND IS A AN ACCEPTED PRACTICE FOR MANY JURISDICTIONS IN ARIZONA. (FOR EXAMPLE THE CITY OF PHOENIX ADDED EXCEPTION 5 TO 2006 IBC SECTION 1609.11 "FOR DESIGN WIND LOADS ON SOLID FREESTANDING WALLS AND SOLID SIGNS PER ASCE 7-05, SECTION 6.5.14, FIGURE 6-20 OF ASCE 7-02 MAY BE USED") 12.5 PSF LATERAL WIND PRESSURE, 2006/2009 IBC, 90 MPH, EXP. C ASCE 7-05/10 NOTE: ASCE 7-02 FIGURE 6-20 TO REPLACE 7-05 FIGURE 6-20 TO KEEP LATERAL WIND FORCE CONSISTENT FOR RESIDENTIAL FENCES AND IS A AN ACCEPTED PRACTICE FOR MANY JURISDICTIONS IN ARIZONA. (FOR EXAMPLE THE CITY OF PHOENIX ADDED EXCEPTION 5 TO 2006 IBC SECTION 1609.11 "FOR DESIGN WIND LOADS ON SOLID FREESTANDING WALLS AND SOLID SIGNS PER ASCE 7-05, SECTION 6.5.14, FIGURE 6-20 OF ASCE 7-02 MAY BE USED") 	<p style="text-align: center;">DISCREPANCIES</p> <ol style="list-style-type: none"> THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS WITH THE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS. ANY SUCH DISCREPANCIES, OMISSIONS, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALED.
	<p style="text-align: center;">DISCREPANCIES</p>	<p style="text-align: center;">SUBSTITUTIONS</p> <ol style="list-style-type: none"> ALL PRODUCT SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR TO SUBMIT DOCUMENTATION TO DEMONSTRATE THAT THE PROPOSED SUBSTITUTION IS EQUAL TO THE SPECIFIED PRODUCT. PRODUCT SUBSTITUTIONS MAY BE USED PROVIDED THEY ARE APPROVED BY THE ENGINEER OF RECORD IN WRITING.
	<p style="text-align: center;">DAMP-PROOFING</p> <ol style="list-style-type: none"> DAMP-PROOFING OF THOSE PORTIONS OF FENCES BELOW GRADE IS NOT REQUIRED PER CODE, BUT MAY BE USED BY CONTRACTOR AT THEIR DISCRETION. AS AN ALTERNATE TO DAMP-PROOFING, INTEGRAL WATER REPELLANT UNITS AND WATER REPELLANT MORTAR MAY BE USED. 	<p style="text-align: center;">SPECIAL INSPECTION</p> <ol style="list-style-type: none"> SPECIAL INSPECTION SHALL BE PROVIDED AS REQUIRED BY THE LOCAL BUILDING OFFICIAL

REF #	MEETING DATE	CODE AFFECTED	CODE YEAR	SECTIONS	BRIEF DESCRIPTION	Have Doc	Include As Is	Needs Update	Historic	Not Needed	Tabled to 6/20
<u>1</u>	4/22/1992	UPC	1991	N/A	A motion was passed to approve amendments to the 1991 UPC that were developed by the MAG Plumbing and Mechanical Working Group.	No			3/21		
<u>2</u>	1/27/1993	N/A	N/A	N/A	A motion was passed to approve a One Coat Stucco Compliance Program For MAG Member Agencies.	Yes			3/21		
<u>3</u>	5/19/1993	UMC	1991	N/A	A motion was passed to approve amendments to the 1991 UMC that were developed by the MAG Plumbing and Mechanical Working Group.	No			3/21		
<u>4</u>	5/24/1995	UBC	1994	N/A	A motion was passed approving the MAG Special Inspections Standards Manual.	Yes		3/21			
<u>5</u>	6/21/1995	N/A	N/A	N/A	A motion was passed stating that the Committee supports uniform reporting of information to the County Assessor as opposed to all member agencies using a uniform permitting process.	Yes			3/21		
<u>6</u>	4/17/1996	UBC	1994	Chapter 12	A motion was passed adopting a Model Sound Attenuation Ordinance for New Residential Construction as a MAG Standard.	Yes	3/21				
<u>7</u>	4/17/1996	NEC	1993	N/A	A motion was passed stating that utility companies installing lighting on private property will be subject to all MAG member agency code requirements including permits, and inspection. Management Committee supported this action on May 15, 1996 and the Regional Council supported the action on May 29, 1996.	Yes					5/16
<u>8</u>	10/22/1997	N/A	N/A	N/A	A motion was passed adopting MAG Model Standards for fireplaces, wood stoves or other solid fuel burning devices.	Yes					5/16
<u>9</u>	10/21/1998	UBC	1997	2343.6	A motion was passed to approve the plastic tag identified at the meeting for use in marking trusses and that a committee be established to address future markings of tags. It was also noted that the Wood Truss Council of America would make the tags available.	No					5/16
<u>10</u>	2/17/1999	UBC	1997	N/A	A motion was passed adopting the Pima County Standard on Strawbale Construction as a MAG standard without amending it.	Yes					5/16
<u>11</u>	4/19/2000	UBC	1997	2343.6	A motion was passed to approve a standard for the marking of trusses developed by the MAG Building Inspector/Plan Examiner Group.	Yes					5/16
<u>12</u>	11/1/2000	UBC	1997	Chapter 11	A motion was passed to recommend compliance with the accessibility standards in the Fair Housing Act or 1997 UBC Chapter 11 either by ordinance or through the alternate design methods section of the Uniform Building Code.	Yes			5/16		
<u>13</u>	5/16/2001	UMC	1997	> 307.5.2	A motion was passed to approve an interpretation of the 1997 UMC that either the use of permanently installed railings on the roof, or one side railing extension would meet the intent of the code for roof access.	Yes			5/16		
<u>14</u>	9/12/2001	UBC	1997	Section 2306.4	A motion was passed to require pressure treated sill plates in both interior and exterior applications as required by UBC Section 2306.4	Yes			5/16		
<u>15</u>	11/14/2001	IRC	2000	Table R301.2 (1)	A motion was passed recommending the use of Table R 301.2 (1) with the following assumed values: Ground Snow Load: 0 psi; Wind Speed: 90 mph; Seismic Design Category: B; Weathering: NEGLIGIBLE; Frost Line Depth: 12"; Termite: Moderate to Heavy; Decay: None to slight; Winter Design Temperature: 34 degrees F; Flood Hazards: Jurisdiction Specific, as a MAG Standard. (The Winter Design Temperature was updated January 16, 2002 from 27 degrees to 34)	Yes		5/16			
<u>16</u>	2/20/2002	N/A	N/A	N/A	A motion was passed to accept standard language of an agreement authorizing Southwest Gas to relocate a gas line without permit or clearance requirement.	Yes		5/16			
<u>17</u>	3/20/2002	IRC	2000	Chapter 11	A motion was passed adopting a proposal that explains alternatives for complying with Chapter 11 of the IRC, the Energy Chapter.	Yes			5/16		

REF #	MEETING DATE	CODE AFFECTED	CODE YEAR	SECTIONS	BRIEF DESCRIPTION	Have Doc	Include As Is	Needs Update	Historic	Not Needed	Tabled to 6/20
<u>18</u>	3/20/2002	IMC	2000	Section 403.3	A motion was passed approving a resolution which stated "The MAG Building Codes Committee recognizes that the exception clause in the International Mechanical Code section 403.3 may be used in evaluating the outdoor ventilation air requirements for schools".	Yes			5/16		
<u>19</u>	5/15/2002	NEC	1999	Article 690	A motion was passed to approving the permit requirements for Commercial Solar Photovoltaic (PV) Installations.	Yes					5/16
<u>20</u>	5/15/2002	NEC	1999	Article 690	A motion was passed approving permit requirements for Residential Solar Photovoltaic (PV) Installations.	Yes					5/16
<u>21</u>	10/16/2002	IBC, IRC, IMC	2000	N/A	A motion was passed adopting the AZBO Code Review & Development Committee Report of Final Actions 2001-2002, dated July 15 2002, as MAG amendments.	Yes			5/16		
<u>22</u>	1/15/2003	IBC, IRC	2000	1202.2, R806	A motion was passed accepting the following statement, "Due to the climatic conditions in our area and recent research into the field of energy conservation, the Maricopa Association of Governments Building Codes Committee recognizes that there are circumstances and methods that allow the use of ventless attics. This recognition would encourage member jurisdictions to look at those circumstances and those methods with the goal of energy conversation in mind".	Yes			5/16		
<u>23</u>	4/16/2003			N/A	A motion was passed requiring a permit for Solar Water Heater Systems as a standard.	Yes	5/16				
<u>24</u>	5/21/2003	IRC	2000	R602.8.1.2	A motion was passed to disallow the use of foam products for fireblocking, unless they are listed as firestop material. Field testing found that foam products that were often used for fireblocking were in fact flammable.	Yes					5/16
<u>25</u>	5/21/2003	I Codes	2003	N/A	A motion was passed stating that all member agencies should strive to use the 2003 International Codes with a goal of an effective date of July 2004.	No					
<u>26</u>	10/14/2003	N/A	N/A	N/A	A motion was passed adopting recommendations for Post-Tension Slab construction.	Yes					
<u>27</u>	10/14/2003	N/A	N/A	N/A	A motion was passed adopting a MAG standard that would require the attachment of a label to a dryer that informs consumers of changes or exceptions to the code that have been allowed for the installation of the dryer.	Yes					
<u>28</u>	11/19/2003	I Codes	2000	N/A	A motion was passed adopting the AZBO Code Review & Development Committee proposed amendments to the 2000 codes updated to the 2003 ICC codes.	Yes					
<u>29</u>	3/17/2004	NEC	2002	N/A	A motion was passed accepting the AZBO 2002 NEC Amendment Packet.	Yes					
<u>30</u>	8/18/2004	N/A	N/A	N/A	A motion was passed to adopt an interpretation allowing for the temporary use of Port-A-John, among other things, in order to meet ADA requirements in a case where a sales office or model home in a subdivision would ultimately become sold to a homeowner.	Yes					
<u>31</u>	12/16/2004	IRC	2003	R401.2	A motion was passed requiring that each builder provide a current pad certification report for all single family lots, in tract subdivisions, at the time of footing inspection.	Yes					
<u>32</u>	12/16/2004	IRC	2003	R703.6.2.1	A motion was passed to allow the installation of deco drain directly below the weep screed as an alternate method of allowing excess moisture inside the wall to drain to the exterior of the building. If the patio is integral to the post tension slab, this alternative method would not be acceptable.	Yes					
<u>33</u>	11/19/2005	NEC	2002	312.5; 314.17	A motion was passed that approved amendments to the 2002 National Electric Code that allows cable attachment outside an SES under certain circumstances that are specifically addressed in Exhibit "A."	Yes					
<u>34</u>	6/21/2006	IRC & NEC	2003 and 2006; 2002 and 2005	IRC E3803.4	A motion was passed to establish that storage space located under stairs not be considered as underfloor spaces requiring lighting for the sake of consistency throughout Maricopa County.	Yes					

REF #	MEETING DATE	CODE AFFECTED	CODE YEAR	SECTIONS	BRIEF DESCRIPTION	Have Doc	Include As Is	Needs Update	Historic	Not Needed	Tabled to 6/20
<u>35</u>	6/21/2006	UBC or IBC	1997 UBC or any edition of the IBC	N/A	A motion was passed that member jurisdictions will recognize and accept the City of Phoenix Approved Structural Steel Fabricators program and list as meeting the special structural inspections alternatives for structural steel fabricated by an approved fabricator as allowed in the building codes.	Yes					
<u>36</u>	11/21/2006	IBC, IRC, IGC, IMC, IPC	2006	N/A	A motion was passed recommending the AZBO Code Review & Development Committee proposed amendments to the 2006 ICC codes be forwarded to the MAG member agencies for their consideration.	Yes					
<u>37</u>	1/16/2008	IBC	2003	1704.4 1905.6	A motion was passed to accept the recommendations made by the Arizona Residential Post-Tensioned Round Table (ARPTRT) so that all MAG member agencies have the same standards for inspection, evaluation and acceptance of the concrete pour for residential post-tensioned slabs-on-ground.	Yes					
<u>38</u>	6/18/2008	IRC supplement	2007	R301.3 Story height R602.10.4 Wall bracing	A motion was passed that the committee generally supports the 2007 supplement to the IRC for story height and wall bracing requirements.	Yes					
<u>39</u>	11/19/2008	I-Codes	2009	N/A	A motion was made to recommend that each jurisdiction consider adopting the 2009 family of I-codes as published by the International Code Council (ICC).	No					

MAG BUILDING CODES COMMITTEE MEMBERSHIP AS OF
6/11/2012

Voting Members				
Name	Representing	Telephone #	Fax #	E-mail Address
Michael Williams (Chair)	Tempe	480-350-8670	480-350-8677	michael_williams@tempe.gov
Mary Dickson (Vice Chair)	El Mirage	623-876-2932	623-876-4607	mdickson@cityofelmirage.org
Randal Westacott	Avondale	623-333-4026	623-333-0400	rwestacott@avondale.org
Phil Marcotte	Buckeye	623-349-6200	623-349-6221	pmarcotte@buckeyeaz.gov
Mike Tibbett	Carefree	480-488-1471	480-488-3845	mike@carefree.org
Mike Baxley	Cave Creek	480-488-6637	480-488-2263	mbaxley@cavecreek.org
Martin Perez	Chandler	480-782-3109	480-782-3110	martin.perez@chandleraz.gov
Jason Field	Fountain Hills	480-816-5127	480-837-3145	jfield@fh.az.gov
Ray Patten	Gilbert	480-503-6820	480-497-4923	ray.patten@gilbertaz.gov
Tom Paradise	Glendale	623-930-3143	623-915-2695	tparadise@glendaleaz.com
Ed Kulik	Goodyear	623-882-7932	623-882-7114	ekulik@goodyearaz.gov
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Tom Ewers	Maricopa County	602-506-7145	602-506-3282	tomewers@mail.maricopa.gov
Steven Hether	Mesa	480-644-2039	480-644-4900	steve.hether@mesaaz.gov
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Dennis Marks	Peoria	623-773-7232	623-773-7233	dennis.marks@peoriaaz.gov
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Dean Wise	Queen Creek	480-358-3009	480-358-3002	dean.wise@queencreek.org
Michael Clack	Scottsdale	480-312-7629	480-312-9029	mclack@scottsdaleaz.gov
VACANT	Surprise			
Dale Crandell	Tolleson	623-936-7111	623-936-7117	dcrandell@tollesonaz.org
Rick DeStefano	Wickenburg	928-684-5451 x513	602-506-1580	rdestefano@ci.wickenburg.az.us
Jim Fox	Youngtown	623-933-8286 x117	623-209-3026	jfox@youngtownaz.org
Non-Voting Members				
Name	Representing	Telephone #	Fax #	E-mail Address
Jackson Moll	Home Builders Assn.	602-274-6545	480-556-5478	mollj@hbaca.org
Sharon Bonesteel	Salt River Project	602-236-4498	602-236-2791	sharon.bonesteel@srpnet.com
Jim Ricker	Town of Guadalupe	480-505-5380	480-730-3097	jim@guadalupeaz.org
Alfonso Rodriguez	Fort McDowell Yavapai Nation	480-789-7740	480-789-7798	arodriguez@ftmcdowell.org
Michael McMillan	Brown and Associates	480-991-3751	480-596-5065	mac@brown-and-associates.net
Dennis Dixon (T)	Apache Junction	480-671-5156	480-982-7010	dennisdixon@ajcity.net
Scott Wilken	MAG	602-254-6300	602-452-5098	swilken@azmag.gov

(T) Temporary

Survey of Code Adoption

Jurisdiction	Building	Mechanical	Plumbing	Electric	Residential	Fire	Energy	Existing Building Code	Fuel Gas	Performance	Green Construction	Notes	URL	Anticipated Adopted Date by Council	Anticipated Effective Date for 2009 or 2012 ICC Codes (Month and Year)
Apache Junction	2006 IBC	2006 IMC	1994 UPC	2005 NEC	2006 IRC	2006 IFC							Apache Junction		
Avondale	2009 IBC	2009 IMC	2009 IPC	2008 NEC	2009 IRC	2003 IFC	2009 IECC		2009 IFGC			July 1, 2011	Avondale		Plan to adopt 2012 codes mid to late 2013
Buckeye	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC		2006 IFGC				Buckeye		No plans to adopt 2009 codes.
Carefree	2003 IBC	2003 IMC	1994 UPC	2002 NEC	2003 IRC	2003 IFC						Effective July 1, 2006	Carefree		Not going to adopt, staying with 2003.
Cave Creek	2009 IBC	2009 IMC	2009 IPC	2008 NEC	2009 IRC	2009 IFC	2009 IECC	2009 IEBC	2009 IFGC			Effective January 1, 2012	Cave Creek	11/21/2011	
Chandler	2009 IBC	2009 IMC	2009 IPC	2008 NEC	2009 IRC	2006 IFC	2009 IECC	2009 IEBC	2009 IFGC			Effective July 1, 2011	Chandler		
El Mirage	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC	2006 IEBC	2006 IFGC			1997 ICC/ANSI Accessibility Code with Arizonans with Disabilities Act.	El Mirage	January/February 2010	
Fountain Hills	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC					Codes adopted April 17, 2008 with town amendments available on Web site.	Fountain Hills		No plans to adopt 2009 codes.
Gila Bend	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC							Gila Bend		
Gila River	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2003 IFC	None						Gila River		
Gilbert	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC		2006 IFGC			ADAAG per state requirements	Gilbert	No date	No plans to adopt 2009 codes.
Glendale	2006 IBC	2006 IMC	2006 UPC	2005 NEC	2006 IRC	2009 IFC		2006 IEBC				With city amendments. Effective Sept. 1, 2007	Glendale	No date	No date
Goodyear	2006 IBC	2006 IMC	1994 UPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC					Adopted 5-14-2007.	Goodyear		
Guadalupe	1997 UBC	1997 UMC	1994 UPC	1999 NEC	1997 UBC	1997 UFC							Guadalupe		
Litchfield Park	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2003 IFC	2006 IECC		2006 IFGC			Codes effective July 1, 2008	Litchfield Park		
Maricopa County	2009 IBC	2009 IMC	2009 IPC	2008 NEC	2009 IRC				2009 IFGC			WITH MAG/AZBO AMENDMENTS	Maricopa County	Adopted August 18, 2010	Effective date of 10-1-10, w/ grace period to 1-1-11.
Mesa	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2009 IECC (Effective 1/3/12)	2006 IEBC	2006 IFGC				Mesa		
Paradise Valley	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC		2006 IFGC				Paradise Valley		Will update to 2012 codes effective October 1, 2012
Peoria	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC			2006 IFGC			Adopted 2012 IPMC, 2012 IECC, effective 5/1/13, not IFC	Peoria	Adopted 5/1/2012	Adopted 2012 codes, effective 5/1/13
Phoenix	2006 IBC	2006 IMC	2006 UPC	2008 NEC	2006 IRC	2006 IFC w/ Amendments	2006 IECC	2006 IEBC	2006 IFGC	2006 ICCP for Buildings and Facilities	IGCC Public Version 2	Effective July 2, 2008	Phoenix	Jan 2013	Discussing 2012 ICC, anticipated July 2013
Queen Creek	2006 IBC	2006 IMC	2006 UPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC	2006 IEBC				Effective Aug. 7, 2008	Queen Creek		No plans to adopt 2009 codes.
Salt River	2003 IBC	2003 IMC	2003 UPC	2002 NEC	2003 IRC	2003 IFC	None						Salt River		

Survey of Code Adoption

Jurisdiction	Building	Mechanical	Plumbing	Electric	Residential	Fire	Energy	Existing Building Code	Fuel Gas	Performance	Green Construction	Notes	URL	Anticipated Adopted Date by Council	Anticipated Effective Date for 2009 or 2012 ICC Codes (Month and Year)
Scottsdale	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC	2006 IECC				IGCC Public Version 2	Effective Sep. 1, 2007, except IPC June 30, 2008	Scottsdale	January/February 2010	July 2010
Surprise	2006 IBC	2006 IMC	2006 IPC	2006 IEC w/ 2005 NEC	2006 IRC	2006 IFC	2006 IECC	2006 IEBC	2006 IFGC			Adopted June 28, 2007	Surprise	January 2010	July 2010
Tempe	2009 IBC	2009 IMC	2009 IPC	2008 NEC	2009 IRC	2006 IFC	2009 IECC	2009 IEBC	2009 IFGC				Tempe		October 24, 2011
Tolleson	2006 IBC	2006 IMC	2006 IPC	2005 NEC w/ 2006 IEC	2006 IRC	2006 IFC	2006 IECC					2006 Fuel Gas Code, 2006 IPMC, 2006 NEAC. Adopted 2/20/07, effective 7/1/07.	Tolleson	January/February 2010	July 2010
Wickenburg	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2003 IFC	2006 IECC	2006 IEBC	2006 IFGC				Wickenburg		No plans to adopt 2009 codes.
Youngtown	2006 IBC	2006 IMC	2006 IPC	2005 NEC	2006 IRC	2006 IFC			2006 IFGC				Youngtown	November 2010	January 2011

This is intended to be used as a guide for the selected codes, as to what member agencies have adopted or intend to adopt.

Last updated June 11, 2012 by Scott Wilken, MAG

Source: MAG Building Codes Committee Members